



St Ives Town Council

Twinned with Stadtallendorf

Town Clerk: Alison Benfield BA (Hons) FSLCC

Town Hall, Market Hill, The Old Riverport, St Ives, Cambridgeshire, PE27 5AL
Telephone: 01480 388929 Email: clerk@stivestowncouncil.gov.uk

Issued: 21 January 2021

Councillors J Davies, N Dibben, T Drye, P Hussain, J Tiddy, D Rowe, N Wells

You are hereby summoned to attend a Meeting of the **Planning Committee** of St Ives Town Council to be held via Zoom on **Wednesday 27 January 2021 at 7.00 pm.**

Alison Benfield BA(Hons) FSLCC
Town Clerk

Join Zoom Meeting

<https://us02web.zoom.us/j/87813728427?pwd=Rk5mODNYb2Rtd0NVcStEKzhhdVNrZDZ09>

Meeting ID: 878 1372 8427
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AGENDA

- PL59.00 HOUGHTON GRANGE PHASE 1**
To receive a short update presentation from Aecom.
- PL60.00 DEVELOPMENT POTENTIAL FOR LAND BETWEEN ST IVES AND HOUGHTON**
To receive presentation from representatives of Houghton & Wyton Parish Council (copy herewith).
- PL61.00 APPLICATION 20/02104/FUL – ABBEY RETAIL PARK**
To consider additional information from the Abbey Group on flood levels.
[Information requested at the previous meeting where a decision on the application was deferred] (copy herewith).

- PL62.00 APOLOGIES FOR ABSENCE**
To receive and note apologies for absence.
- PL63.00 DECLARATIONS OF INTEREST**
To receive Declarations of Disclosable and/or Non-Disclosable Pecuniary Interests as set out in Chapter 7 of the Localism Act 2011 and the nature of those interests relating to any Agenda item.
- PL64.00 PUBLIC PARTICIPATION**
A maximum of 15 minutes is permitted for members of the public to address the Committee in accordance with the Town Council's approved Public Participation Policy.
- PL65.00 MINUTES**
To confirm as a correct record the Minutes of the Meeting of the Planning Committee held on 13 January 2021 (copy herewith).
- PL66.00 PLANNING APPLICATIONS**
To consider the attached list of Planning Applications received (copy herewith).
- PL67.00 DEVELOPMENT MANAGEMENT COMMITTEE / UPDATED INFORMATION**
To receive updated information from the local planning authority(if any).

**Minutes of the Meeting of the Planning Committee of St Ives Town Council
held via Zoom on Wednesday 13 January 2021**

Present:

Chairman: Councillor N Dibben

Vice Chairman: Councillor D Rowe

Councillors: J Tiddy, P Hussain, J Davies, N Wells, J Pallant (ex officio)

In attendance:

Councillor: C Smith

Abbey Group: Mr D Mead, Mr A Brand

Committee Clerk: S Rawlinson

PL51.00 ABBEY RETAIL PARK, HARRISON WAY

Representatives of the Abbey Group informed Members that their proposal was for a small shop, Class E, of 34 sq m. The application had been submitted some time ago and no objections had been received from residents or consultees. The unit would have the same hours of business as surrounding premises, closing at 10 pm.

They informed Members that their site had been affected by the flooding and that they had spoken to the Environment Agency and offered to clear fallen trees near the site. They were looking at reinforcing and raising the floor level of the unit. Development of the site had not been instrumental in the flooding of neighbouring properties.

The Chairman thanked Mr Mead and Mr Brand for attending the meeting.

PL52.00 APOLOGIES FOR ABSENCE

An apology for absence was received from Councillor T Drye (Personal).

PL53.00 DECLARATIONS OF INTEREST

Application 20/02415 and 02416 – Councillor D Rowe – non pecuniary interest as an acquaintance of the applicant.

Application 20/02343 – Councillors N Dibben, D Rowe and J Tiddy – non pecuniary interest as acquaintances of the applicant.

PL54.00 PUBLIC PARTICIPATION

Application 20/02206/FUL – Priory Road Sub Station - A representative of the agents, Barfords, informed Members that the intention was to erect a new purpose-designed building on the site of the sub station in Priory Road. The building would be slightly taller and much bigger. It would be clad with better materials to blend into the landscape. Permission existed for a dwelling on the site and a flood risk assessment and ecology and tree report had been submitted.

The Civic Society of St Ives made the following comments:

Application 20/02104 – Abbey Retail Park - There are currently a range of shop units available in the Town Centre, including a recently converted unit. The vitality of the town centre should take priority over a new out of town development, especially when similar sized units are already available.

Furthermore, the information and conclusions contained in the various Flood Risk Assessments for earlier units on this site, which Assessments are relied on for this application, now require to be revisited in light of the recent flood experienced at this site. Rather than assessing the site to have a 1 in a 1,000 years probability of flood risk, a rate of 1 in 30 years has been shown to be more realistic. The Society consider the application should be refused.

Chairman's
Initials

Application 20/02343 – 5 Virginia Way - Whilst tall and very tall hedges have grown up in Virginia Way this is the first fence. The Society consider it is likely covenants controlled both hedges and fences. The necessity, or desire for this fence is not explained and the colour is overbearing. Furthermore there is already a hedge on the boundary.

The Privacy Screen shown in the application has been removed, this appears to have been incongruous, again no explanation has been given. If the intention is to save the householder from cutting and trimming the hedge a lower fence would suffice, although the Society would prefer the fence free nature of the street scene to remain.

Application 20/02206 – Sub Station, Priory Road - In comparison with the previous application for this site, which the Society welcomed in general, this is now a large and incongruous proposal. The Snug could be a fifth bedroom.

The Planning and Heritage Statement omits, in para 2.20 to mention the nearby permissive path immediately to the south of the Chub Stream on The Holmes. The statement also plays down the visibility of the proposed building and exaggerates that of the existing building. Without doubt the new proposal will be much more visible than the previous, approved, application. The Society consider this to be unacceptable development of the site.

Application 20/02452/S73 – Cromwell Place Surgery - The intention is to remove the proposed privacy louvres from four windows and replace the clear glass with a very white opaque glass. Whilst this may achieve the desired level of privacy it will result in a jarring exaggeration of the selected windows whilst leaving others unaffected. There has to be a better solution. This application for a building in a very prominent position within the town should be refused.

PL55.00

MINUTES

The Minutes of the Meeting held on 9 December 2020 were agreed as a correct record and would be signed by the Chairman at a future date. Members noted that the meeting scheduled for 16 December was not held.

PL56.00

PLANNING APPLICATIONS

The Chairman advised Members that time extensions on the planning applications received so far had been granted until January.

The following applications were considered by the Committee:

PL56.01

20/02104/FUL

Erection of a single storey building for Use Class E (shop) forming an additional unit to the Abbey Retail Park
Abbey Retail Park
Harrison Way
St Ives

RECOMMENDATION:

Deferral requested

The Committee would wish to consider this application once a review of flooding measures has been undertaken.

The applicant is willing to review aspects of the design in the light of recent flooding in St Ives to ensure nothing associated with the site would make neighbouring residential flooding worse.

PL56.02

20/02343/FUL

Retrospective planning permission requested for the erection of fencing to 2.10m high to the boundary of the property. Retrospective planning permission to erect privacy screen attached to fence
5 Virginia Way
St Ives

Chairman's
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RECOMMENDATION:**Approval**

Appropriate fence. It is noted that the privacy screen has been removed.

PL56.03**20/02347/FUL**

Single storey rear extension to the rear
15 Rushington Close
St Ives

RECOMMENDATION:**Approval**

Appropriate scale of development
In keeping with property designs in the
Neighbourhood

PL56.04**20/02364/FUL**

First floor rear extension to dwelling
Oakdale
3 The Drive
St Ives

RECOMMENDATION:**Refusal**

The balcony would cause privacy issues of overlooking.
The Committee would accept a similar application which excluded the balcony.

PL56.05**20/02409/FUL**

Side and rear single storey extension, new doorway and window
Bramley Cottage
Nicholas Lane
St Ives

RECOMMENDATION:**Approval**

Acceptable development for a town centre location.
The Committee notes the concerns of neighbours about loss of daylight.

PL56.06**20/02206/FUL**

Erection of dwelling following demolition of a former sub station with planning permission for conversion and extension to create a dwelling (19/00447) and removal of associated site infrastructure
Old Sub Station
Priory Road
St Ives

RECOMMENDATION:**Approval Subject to**

Confirmation of final landscaping details to include suitable plant screening between house and bypass to minimise visual impact from this key viewpoint on the approach to the town.
Provision of construction traffic plan to minimise disruption to residents.

Assurances that the road will be left in a useable condition following works.
It is noted that the Access Statement does not refer to the permissive path on the adjacent meadow.

Chairman's
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PL56.07 **20/02415/FUL**
20/02416/LBC
 Replacement of double glazed sash windows, new levelled driveway,
 replacement of roof tiles above north east elevation and repointing existing brick
 walls to north east elevation
 Elwyn House
 Merryland
 St Ives

RECOMMENDATION: **Approval**
 Appropriate like for like replacement.
 Details to be agreed with Conservation Officer.

PL56.08 **20/02452/s73**
 Amendment to Condition 2 of ermission 18/00279/LBC and 19/02124/s73 to
 replace drawing 1731-PL-1-01 Rev B with 1731-PL-1-01 Rev C
 Cromwell Place Surgery
 Cromwell Place
 St Ives

RECOMMENDATION: **Observation**
 The variation to the plan is accepted.

PL57.00 **CHANGES TO PLANNING REGULATIONS**

PL57.01 **Use Classes**
 Members were in receipt of details of the new building use classification system
 for planning which was now in effect.

RESOLVED: that the information be received and noted.

PL57.02 **Consultation on Permitted Development Rights**
 Consideration was given to a Government consultation on proposed changes to
 the permitted development rights system.

Members had concerns that permitted development in a town centre in a
 conservation area should be decided by the local Planning Authority or covered
 in the Neighbourhood Plan and not permitted as a universal right.

The Chairman had completed the form which he would update and circulate to
 Members prior to submission.

RESOLVED: that the consultation document when finalised be submitted.

PL58.00 **DEVELOPMENT MANAGEMENT COMMITTEE**

There were no issues relating to St Ives.

The Chairman reminded members that work was re-starting on the Neighbourhood Plan. He
 requested Members wishing to be involved with the work to contact him. There was some
 involvement also from the wider community.

Chairman:

Dated:

Chairman's
 Initials

St.Ives Town Council – Planning Committee 27th January 2021

To discuss and seek views regards the development potential of the remaining area of land west of St.Ives between Houghton Grange and The Spires.

1. Background:

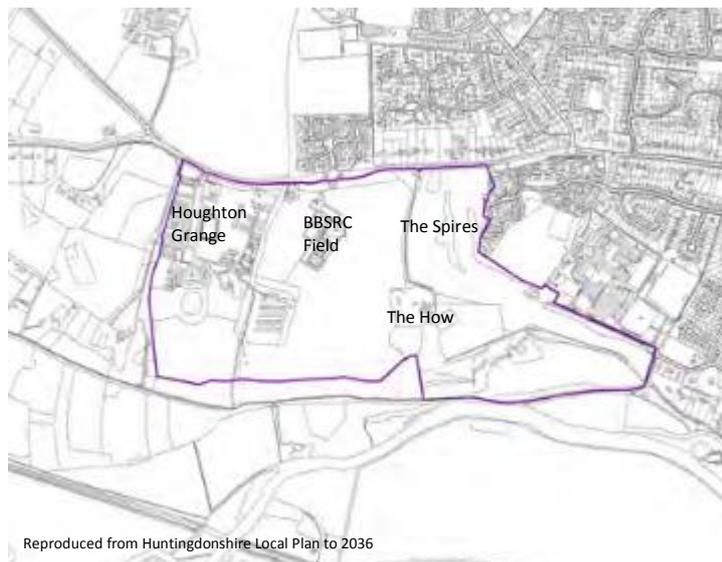
The Local Plan allows for approximately 400 homes to be built west of St.Ives between the town and village, incorporating substantial areas of natural green space including public access, and maintaining separation between developments at Houghton Grange and The Spires.

The Local Plan allows for a difference of +/- 10% i.e. 360 – 440 homes.

Planning approvals so far by town/parish boundary:

The Spires	186	(St.Ives CP)
Houghton Grange	107	(Houghton & Wyton CP)
The How (17 +5 in the main house)	<u>22</u>	(St.Ives CP)
Total	315	

315 have been accounted for so far meaning that in theory between 45 and 125 could still be built.



If no more houses are added to the 3 allocations mentioned above, then what is known as the BBSRC field, east of Houghton Grange and within the Houghton & Wyton parish boundary is the last remaining area on which to build.

2. The Houghton & Wyton Masterplan Aims and Concept

With this in mind, Houghton & Wyton PC commissioned Jason Leonard of architects Woods Hardwick to produce a Masterplan concept for a mixed development comprising between 50 and 70 homes and satisfying a number of objectives as follows:

- Development would look to satisfy the Houghton & Wyton Neighbourhood Plan Anti Coalescence policy by occupying no more than 40% of the level ground on the northern section of the field, running next to the A1123, between Houghton Grange and The Spires.
- The Masterplan would recognise that the hill is a shared landscape. Hence it would look to protect the iconic view of St.Ives looking upstream from Harrison Way and from the Old Bridge in St.Ives (arguably one of the best views in Cambridgeshire) where the hill provides an important back drop. It would also protect those views from the valley floor and across the valley especially in Hemingford Grey.
- The Masterplan would put Place Making at the heart of any scheme and use techniques to marry development of the BBSRC field 'as one' with that planned and approved but not yet built at Houghton Grange. House design and layout must fit with the vernacular associated with housing in the area, together with that still to be built at Houghton Grange and the How, as well as the setting it will occupy.
- The new development would utilise and share with Houghton Grange the road junction opposite Garner Drive as the entrance, and would be designed so that the new development was linked to Houghton Grange and not seen as a separate destination in itself.
- Likewise it would also treat the remaining undeveloped land as part of a single, continuous landscape and wildlife corridor, joining the land area all the way from the A1123, to the south of Thicket path, from the county wildlife site south of Houghton Grange, through St.Ives Thicket Wood to Nobles field, in order to ensure that the whole of this area was considered as one when thinking about the needs of the town, the surrounding villages and wildlife that depends upon it.
- The Masterplan would provide a 'green gateway' entrance to St.Ives when travelling from the west.
- The development would have a lower than average density of housing per acre, allowing for a higher quality build with slightly more space around each dwelling and incorporating at least 40% genuinely affordable housing.
- The Masterplan would aim to help flood prevention of the wider area.
- The Masterplan would be set out to be capable of using modern building techniques to be carbon neutral and achieve rain water harvesting.
- The Masterplan would be capable of delivering significant net gain in biodiversity.
- The natural green space would be a mix of open grassland to protect the precious grass species present on the county wildlife site, as well as a thick wooded band of native trees, extending the ancient St.Ives Thicket wood from south to the A1123.
- The area would accommodate greater open public access and incorporate tracks, footpaths and cycle routes through the woodland, linking between town and village and through to the bus stop on the A1123.

3. Why erring towards the lower end of the housing numbers is important for the town.

Two quotes from the 2020 document St.Ives: A Prospectus for Growth 2020.

An overview of St.Ives. A town defined by its river.

The iconic view of St.Ives is from the river. The Bridge is a defining architectural feature of St.Ives and is one of only three in the U.K. to have a chapel on it. From the viewpoint of the bridge there are wide vistas up and down the Great Ouse. This attracts international tourists to the town, often as a next stop from a visit to Cambridge. The river supports the night-time economy, as restaurants and bars cluster along the quayside. A well as visual amenity, the river provides leisure opportunities , from canoeing to angling.

A Vision for St.Ives:

St.Ives has a unique offer. It combines a distinctive and attractive environment with close proximity to Cambridge . The River Great Ouse provides leisure opportunities and creates an iconic view of the town.

The Local Plan and Houghton & Wyton Neighbourhood Plans recognise that the remaining undeveloped land rising northwards from the valley floor between St.Ives and Houghton forms a particularly sensitive area.

The hill and it's natural cover adds beauty to the setting which attracts the hundreds of thousands of visitors who flock both to the town as well as to Houghton and the Hemingfords as the main gateways into this picturesque landscape.

Preserving as much of it as possible is therefore desirable.

But there are other reasons too.

As well as adding to the picturesque setting of the town, Covid-19 has highlighted the importance of having access to natural green spaces for both physical as well as mental health. Something that the St.Ives Neighbourhood Plan group will no doubt be considering. As the town grows, then arguably access to more natural green space is required.

Any green/open Space needs to be considered as part of a much wider scheme e.g. acting as the green lungs of St.Ives and wider area, open public access, providing trails, interest, health & fitness, education, bio-diversity net gain and other possibilities (e.g. energy).

The BBSRC field is the last remaining field separating town and village. The Houghton & Wyton Neighbourhood Plan carries a powerful anti coalescence policy in law and the Local Plan supports this by requiring a significant gap to remain. Hence, a significant proportion of the field will be required to remain undeveloped to deliver the planning policies and maintain a meaningful separation.

Again the St.Ives Neighbourhood Plan group may well be considering policies itself to help define and protect the unique character of the market town, not just by way of forming an entrance to the town from the west, but in maintaining a real and meaningful geographic separation.

Flooding has finally being recognised as a high risk factor with housing/development contributing to this. By planning for smaller numbers of houses to be built in this area will inevitably reduce the risk by limiting and slowing down run off from the clay capped hill, plus by allowing a larger area of undeveloped land to remain.

In the same vein, fewer houses allows for the possibility of tree planting and other measures to further reduce the flow of water and hold back more severe run off. Support has been shown locally for the idea of extending the Thicket wood all the way north to join the A1123.

Traffic and over burdened roads is frequently mentioned as an issue by towns folk and villagers alike, and this is before adding the 124 houses from Houghton Grange and the How that have yet to be built. Again, limiting the number of homes built thereafter in this area will at least help the situation from getting even worse.

Obviously any green space with public access needs to be financially sustainable. It must not become a burden to the local community or indeed HDC, who are already feeling pressure on their countryside budgets. Hence the green space needs to be capable of being maintained properly financially over the long term.

The St.Ives area is a very desirable area to live but combined with being relatively affluent means that house prices and rents are high and can be out of the reach of many. New affordable homes need to be genuinely affordable and also prioritised for those with a strong local connection.

4. How can this be achieved?

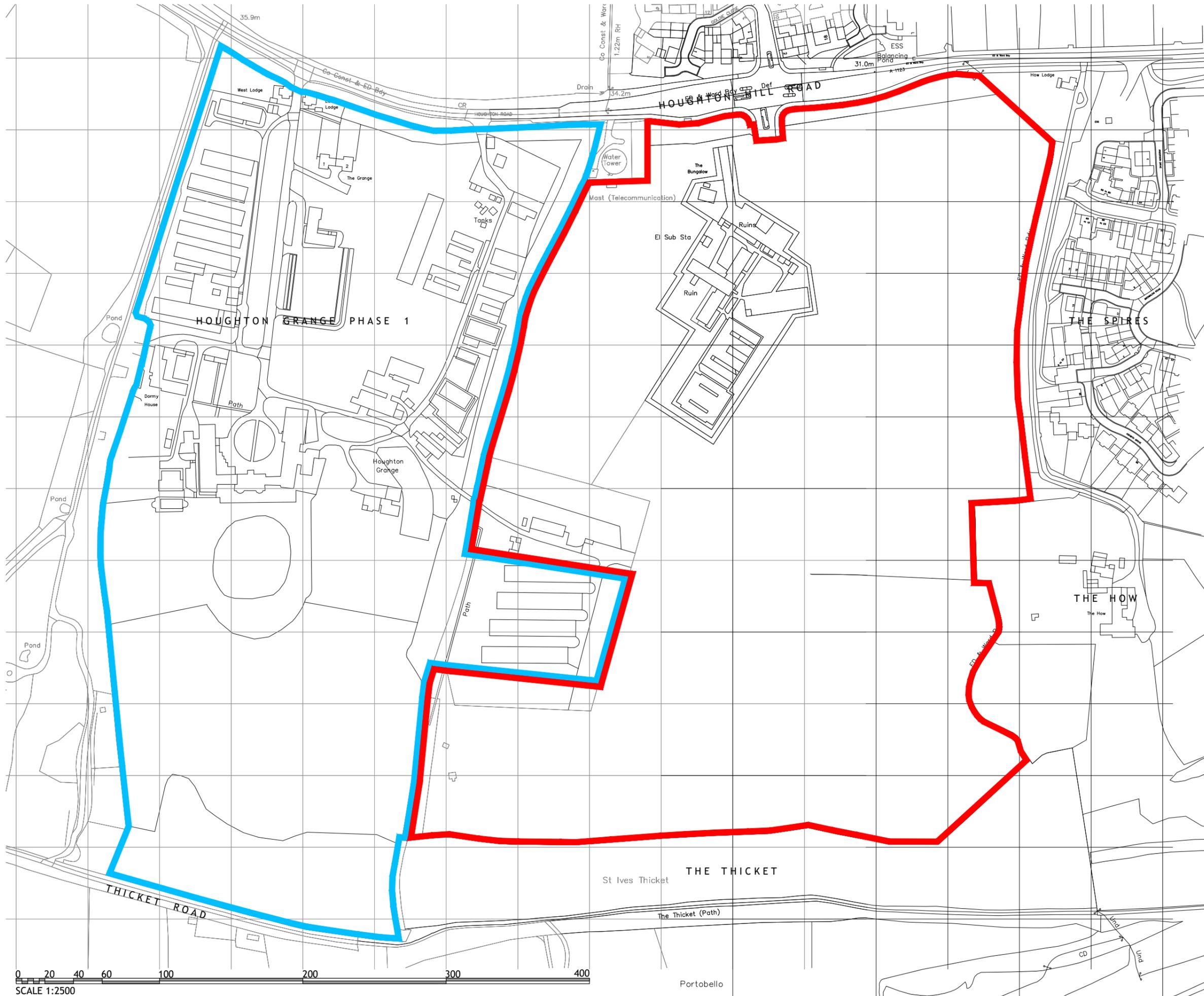
Our preferred route is to use a community owned land and housing scheme model. These are growing in popularity because they can achieve more, and more quickly than some conventional ways of working. There are hundreds now operating throughout England and 17 such schemes in Cambridgeshire alone.

They operate by forming a Community Land Trust (CLT) to own and manage affordable housing for local people as well as the green/open space. They often work in conjunction with a developer to oversee the planning and building of the homes and infrastructure, using an element of market housing to cross subsidise the land price and building of the affordable element before handing this over to the CLT.

In Cambridgeshire they are championed and promoted by the Combined Authority, and operating on a not for profit basis, they have access to grants and low cost (social enterprise) finance. This allows them to make the affordable element genuinely affordable and achieve more like 50% - 66% of the market rent rather than the less affordable 80% definition allowed by government.

The big advantages they are able to protect the affordable housing and land they manage in perpetuity by way on an asset lock and being allowed to remove the right to buy; they can guarantee affordable homes for local people by setting a strict criteria for eligibility; and can also deliver sustainability over the long term because once debt is paid off they can plough back all of the revenue streams into the venture/local community.

It is important to say that the CLT would be open to and welcome residents of St.Ives becoming members and joining the board of the CLT.



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<input type="checkbox"/>	CONSTRUCTION	<input type="checkbox"/>	AS BUILT		

SCALE 1:2500 @ A3 DATE Dec. 2020

DRAWN JAL CHK -

DRAWING NO. 18886/1002 REV -

TITLE Residential Development,
Houghton Grange Phase 2.

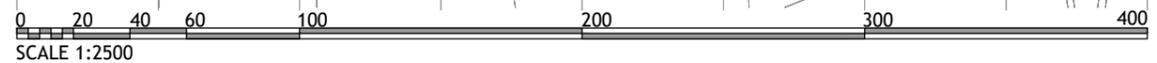
DETAILS Site Location Plan.

 **Woods Hardwick**
Architecture | Engineering | Planning | Surveying

BEDFORD : HEAD OFFICE
15-17 Goldington Road
Bedford MK40 3NH
T: +44 (0) 1234 268862

BIRMINGHAM
Fort Dunlop, Fort Parkway
Birmingham B24 9FE
T: +44 (0) 121 6297784

ONLINE: mail@woodshardwick.com | woodshardwick.com





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DRAWING LEGEND:

- 1 - Low density frontage creating a frontage to the approved road that sweeps the visitor toward the Grange (site).
- 2 - Footpath Link to Bus Stop.
- 3 - Connectivity to surrounding footpath networks.
- 4 - Water Main.
- 5 - Open Space (Orchard).
- 6 - Main Street (Loop). The loop ensures that Phase 2 does not have a 'destination' and retains the two most important parts of the wider locale, The Grange and The Avenue, as the destination.
- 7 - Mews Lanes.
- 8 - Surface Water Attenuation.
- 9 - Woodland (perhaps with trim-trail within). The Woodland will ensure that the 'Gap' between Houghton and St Ives is preserved in perpetuity.
- 10 - Open Space.
- 11 - Water Tower.
- 12 - Barn (Residential) Complex.

REV	DESCRIPTION	DRN	CHD	DATE	
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SCALE 1:2500 @ A2 DATE Dec. 2020

DRAWN AT CHK JAL

DRAWING NO. 18886/1001 REV -

TITLE Residential Development, Houghton Grange - Phase 2.

DETAILS Masterplanning: Concept Layout.

Woods Hardwick
Architecture | Engineering | Planning | Surveying

BEDFORD : HEAD OFFICE
15-17 Goldington Road
Bedford MK40 3NH
T: +44 (0) 1234 268862

BIRMINGHAM
Fort Dunlop, Fort Parkway
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T: +44 (0) 121 6297784

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DRAWING LEGEND:

- 1 - Houghton Grange.
- 2 - Houghton Hill Road.
- 3 - Phase 1 Houghton Grange (Approved).
- 4 - 'The Spires' Development.
- 5 - The How.
- 6 - The Thicket.
- 7 - The River Great Ouse.
- 8 - Phase 2 Houghton Grange.
- 9 - County Wildlife Site (CWS).
- 10 - Water Main.
- 11 - Water Tower.
- 12 - Denotes Homes England's Extent of Phase 2.
- 13 - Denotes Homes England's Site Ownership.
- 14 - Surface Water Attenuation.
- 15 - Footpath Routes.
- 16 - Footpath Routes (from The Spires & The How)
- 17 - The Thicket (PRoW).
- 18 - Thicket Road.
- 19 - Approved Route into Phase 1.
- 20 - Outward Looking Development onto Tree Belt.

REV	DESCRIPTION	DRN	CHD	DATE	
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<input type="checkbox"/>	CONSTRUCTION	<input type="checkbox"/>	AS BUILT		

SCALE 1:2500 @ A2 DATE Dec. 2020

DRAWN AT CHK JAL

DRAWING NO. 18886/1000 REV -

TITLE Residential Development,
Houghton Grange - Phase 2.

DETAILS Masterplanning:
Contextual Layout.

 **Woods Hardwick**
Architecture | Engineering | Planning | Surveying

BEDFORD : HEAD OFFICE
15-17 Goldington Road
Bedford MK40 3NH
T: +44 (0) 1234 268862

BIRMINGHAM
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T: +44 (0) 121 6297784

ONLINE: mail@woodshardwick.com | woodshardwick.com

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ADDITIONAL INFORMATION FROM THE ABBEY GROUP

ON APPLICATION 20/02104/FUL

Further to my email below please find attached a note produced by our flood risk consultant in respect of the matters raised by the Town Council at their 13th January 2021 meeting.

The note concludes that a finished floor level of 6.8m AOD is necessary in this instance for this new unit. This is c.0.1m above the threshold level of the existing Costa and Subway units (as shown on the topographical survey for the site which is within the note). The Costa unit flooded to a depth of 0.1m at the 23rd/24th December event.

As this level of 0.3m above the existing ground level I do not intend to submit this note to the District Council at present – the Flood Risk Assessment which formed part of our planning application formed the same conclusion in terms of the finished floor level for this unit. This may change if and when I am able to speak to the Planning Officer.

We can explain this further on the 27th and we would be grateful therefore for confirmation that the Town Council will consider this item on the agenda for that meeting? I would also request, as with the previous meeting, that we provide an update to the Town Council as an agenda item – we can update the Town Council on our discussions in respect of flooding matters more generally. In summary though our view remains that the maintenance of the water course was the main factor in the flooding of our site.

Andy Brand MRTPI

Planning Director



Proposed Unit 7

Abbey Retail Park, Harrison Way, St Ives, Cambridgeshire PE27 4AE

Statement on Flood Levels

Introduction

This report relates to a proposed 35 m² single storey Class E (shop) use unit within the recently constructed Abbey Retail Park. This proposed unit is shown on the attached drawings 15-65-FS-01 A & 02 A.

Amazi Consulting Ltd prepared the Flood Risk Assessments (FRAs) for the existing Abbey Retail Park:

- Flood Risk Assessment, AMA510 Rev 0, 01 November 2016 ⇒ Fluvial flooding and surface water drainage.
- Addendum to Flood Risk Assessment, AMA510, 17 February 2017 ⇒ Further information on site surface water drainage.
- Flood Risk Assessment, AMA636, 17 July 2017 ⇒ Revision to units 3 & 4 only.
- Planning permissions granted: 16/02448/FUL dated 12/5/17
17/01078/S73 dated 18/8/17
17/01674/FUL dated 20/4/18
- Flood Risk Assessment for unit 6, AMA738, 16 May 2019, 19/01046/FUL permission granted 28/10/19.

This report has been prepared to clarify how the proposed unit ("Unit 7") finished floor level compares with the Environment Agency predicted flood level data. There is a current planning application for unit 7: Huntingdonshire District Council reference: 20/02104/FUL. The report follows the comments from St Ives Town Council who requested confirmation as to the proposed finished floor levels in light of recent flooding at the site on 23rd/24th December 2020.

This report has been prepared for the sole use of The Abbey Group Cambridgeshire Limited and its contents cannot be copied or relied upon by others without the written authority of Amazi Consulting Ltd.

Fluvial Flooding

Figure 200 shows the site to mainly be within flood zone* 2, with the southern tip within flood zone 3. However, the attached Fluvial Flood Data Note shows how the site specific data confirms that this unit 7 and its access through the site would be dry during the peak of the predicted 1:1,000 year event.

*Refer to National Planning Policy Framework, Planning Practice Guidance *flood risk and coastal change*, table 1.

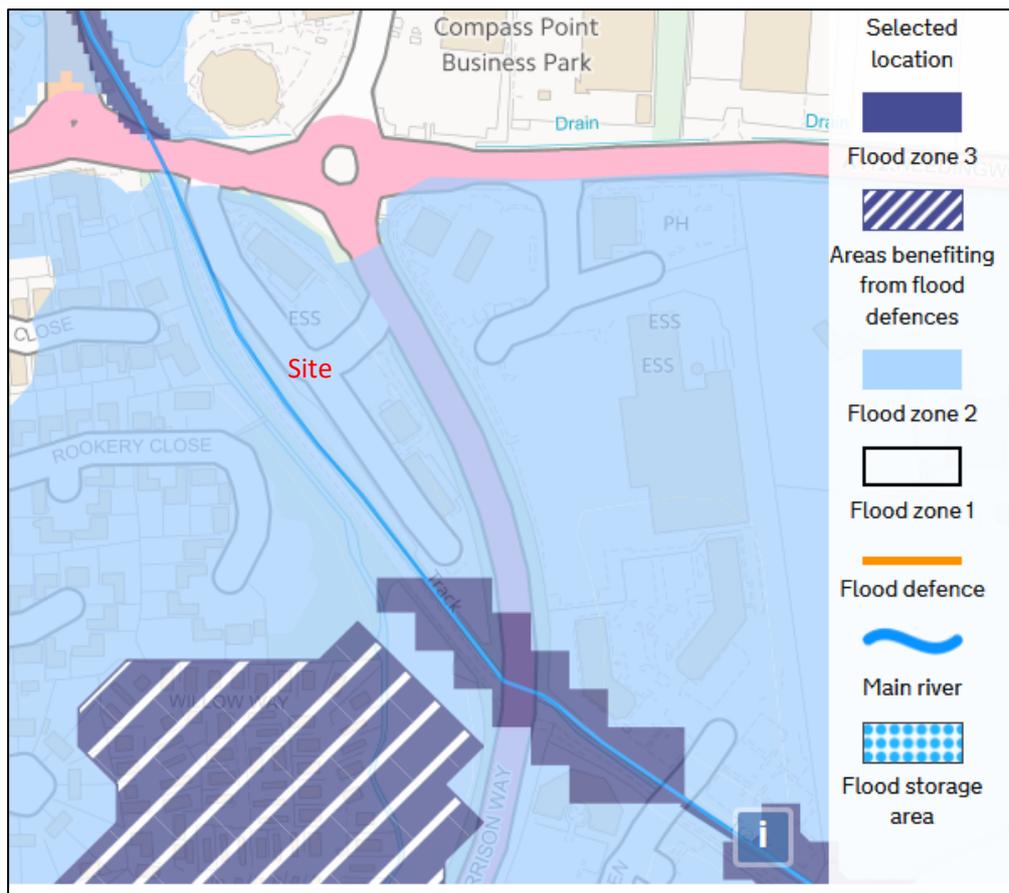


Figure 200 - Flood zone (18 January 2021)

The attached Fluvial Flood Data Note confirms the Environment Agency predicted flood level at the proposed unit of 6.17 mAOD during the 1:100 plus climate change event.

The proposed unit 7 finished floor level is 6.8 mAOD, which is 630 mm above this predicted flood level. The proposed floor level is also above the existing Costa building threshold level of 6.7 mAOD.

Flood Resilience

Although flooding on site is not expected to occur at this unit. As a precaution though, the business should be suitably prepared by undertaking the following measures.

- The proposed minimum finished floor level of unit 7 will be 6.8 mAOD (similar to other units on site).
- The site is within an Environment Agency flood warning area. It will be important that, immediately upon occupation, building owners and site managers **sign up to receive these warnings**. It will be important for the site to be evacuated prior to flooding and closed to prevent people entering if there is a potential risk nearby.

- A **business flood plan** should be prepared by each of the businesses onsite using the Environment Agency template:
https://www.gov.uk/government/uploads/system/uploads/attachment_data/file/410606/LIT_5284.pdf. This will enable the businesses to set out staff details and actions to be taken if flooding is expected. All new staff should be trained upon commencing work to ensure they are familiar with the site procedures.
- Further information on flood preparation is also available from Huntingdonshire Council:
<http://www.huntingdonshire.gov.uk/environmental-issues/flooding/>
- Again, although the unit should not be at risk of static water, there is a chance wake from moving vehicles. The building construction should therefore take into account the possibility of flooding.
- Where possible, building **flood resilience** measure should therefore be in accordance with CLG, *Improving the Flood Performance of New Buildings* (2007) and BRE Digest 523, *Flood Resilient Building* (2012) and The BS 85500:2015 *Flood resistant and resilient construction – Guide to improving the flood performance of buildings*. The measures listed below are to be adopted wherever possible:

Prepared by Leigh Parratt
BEng(Hons) CEng MICE CWEM MCIWEM PCHEP FHEA

Attachments

15/65/FA/01 A Unit 7 Floor Plans & Elevations

15/65/FS/02 A Unit 7 Proposed Block Plan

Fluvial Flood Data Note, January 2021



Front Elevation



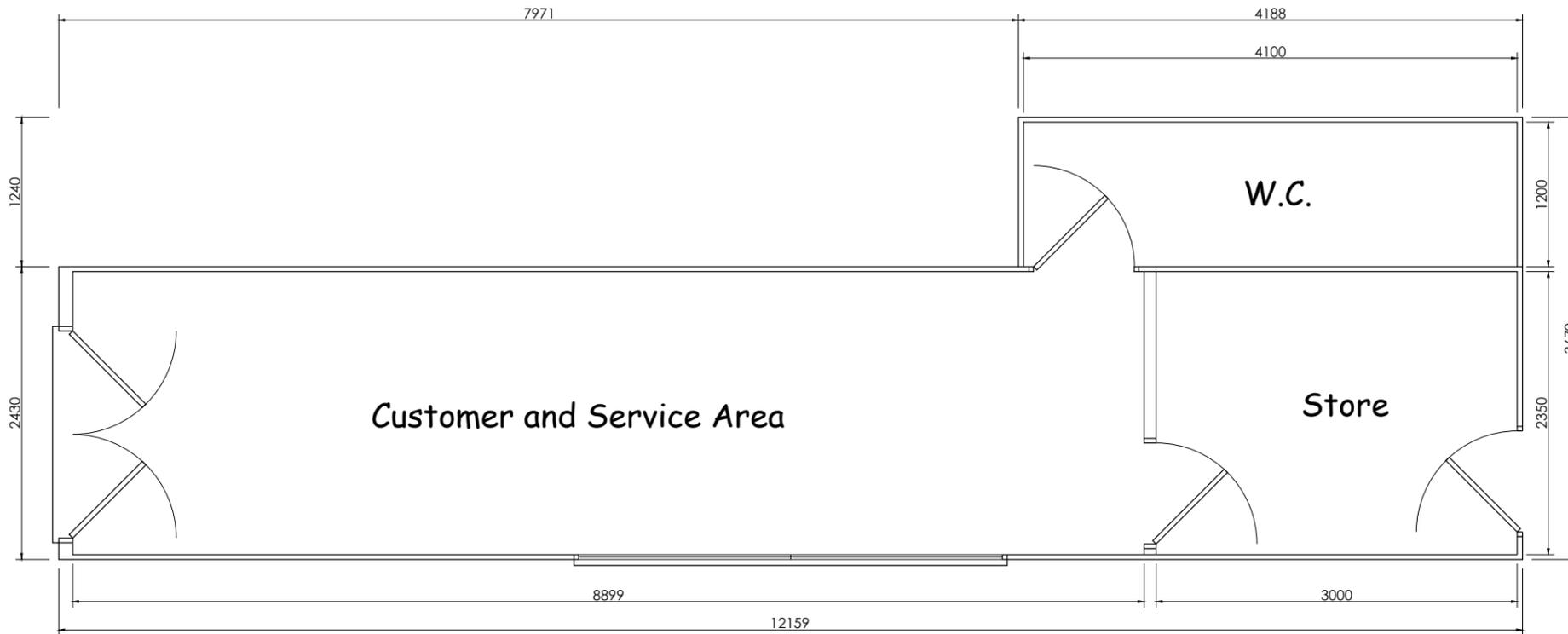
Side Elevation



Rear Elevation



Side Elevation



REV.	DATE	REVISION NOTES
A	05.01.21	Added advert placeholders and external store door

Suite 2, Clare Hall
 St Ives Business Park
 Parsons Green
 St Ives
 Cambs PE27 4WY

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Tel: 01480 494969
 email: enquiries@planningandarchitecture.co.uk



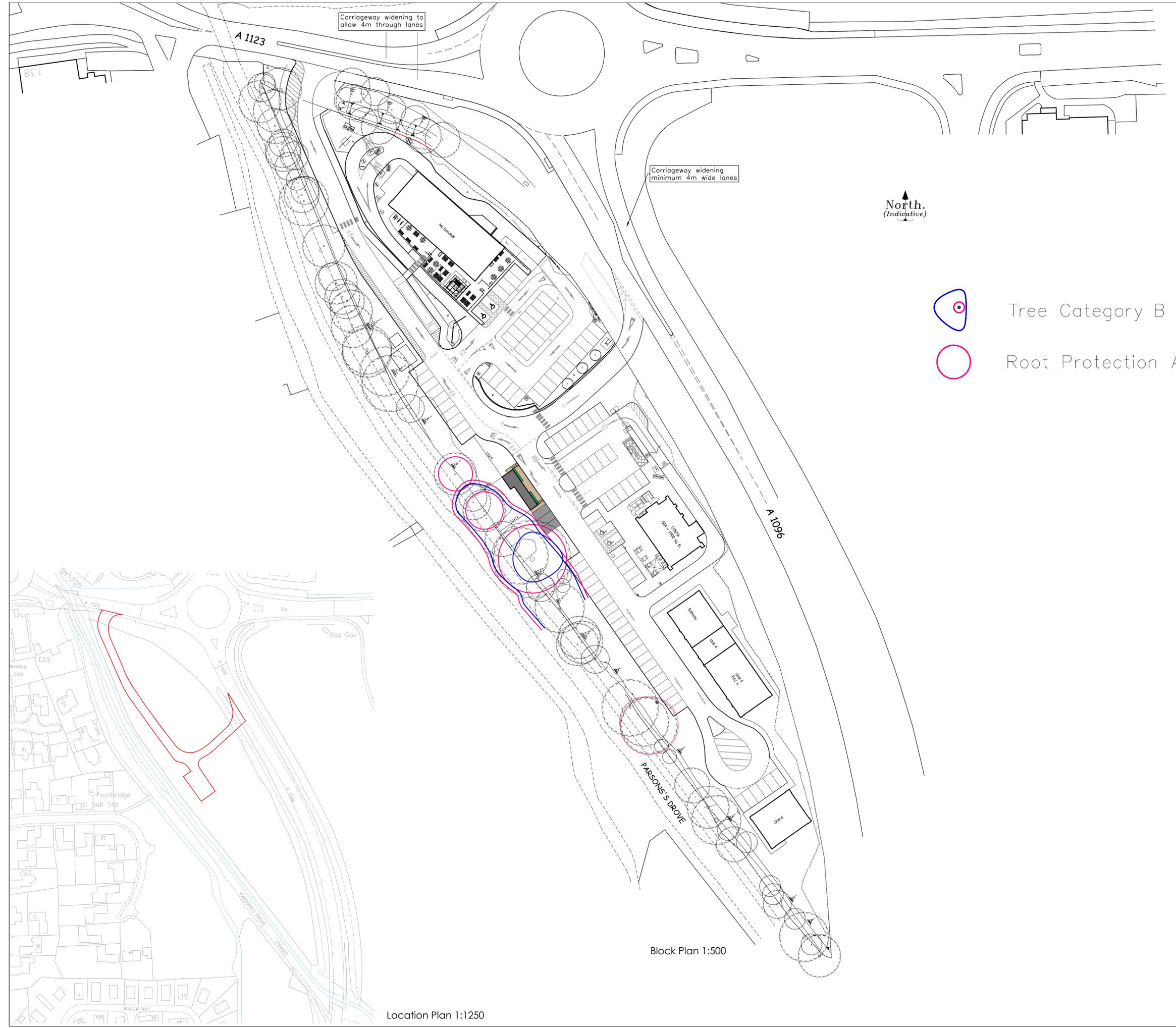
PARTNERS
 IN
 PLANNING
 and ARCHITECTURE

PROJECT
 Proposed Retail Unit
 Harrison Way,
 St Ives, Huntingdon,
 Cambridgeshire

CLIENT
 The Abbey Group Cambridgeshire Ltd.

DRAWING TITLE
 Floor Plans and Elevations

DRAWN CWM	SCALES 1:50 @ A3
	0.5m 1m 2
DATE 21/10/20	DWG. No. 15/65/FS/01 REV. A



North.
(Indicative)

-  Tree Category B – Moderate Quality
-  Root Protection Area to BS:5837:2012

Block Plan 1:500

Location Plan 1:1250

REV	DATE	BY	REVISION NOTES
A	05.01.21	CWM	Extended hardstanding to serve additional door

Suite 2, Clare Hall,
St Ives Business Park,
Parsons Green,
St Ives,
Cams, PE27 4WY

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PARTNERS
in PLANNING
and ARCHITECTURE

PROJECT
Proposed Retail Unit
Harrison Way
St Ives, Huntingdon,
Cambridgeshire

CLIENT
The Abbey Group Cambridgeshire Ltd.

DRAWING TITLE
Proposed Block and Location Plan

DRAWN BY	SCALE
CWM	1:500 @ A1

DATE	DWG. No.	REV.
21/10/20	15/65/FS/02	A



Abbey Retail Park, St Ives

Fluvial Flood Data Note

Revision A January 2021

The first revision of this Note (AMA738, 16 May 2019) accompanied the planning application for unit 6 Abbey Retail Park. This latest revision has been produced to accompany the planning application for unit 7 (Huntingdonshire District Council Planning Application Reference: 20/02104/FUL). Only minor revisions have been made to this Note from the 2019 version which are given in green.

Amazi Flood Risk Assessment (FRA) November 2016 relied upon EA's 2007 Parsons Drove flood model data:

1:25 = 6.37 mAOD

1:100 = 6.41 mAOD

1:200/1:100CC = 6.57 mAOD

Minimum defence level = 6.44 mAOD (from site GPS survey).

FRA Addendum 2017 - New flood data:

December 2016 we received the EA's newly published new River Ouse flood data.

This newer data is not based upon 1D-2D ISIS TUFLOW coupled model as schematised for the main River Ouse. The nearest ISIS node positions are some distance south of the site – see Figure 101.

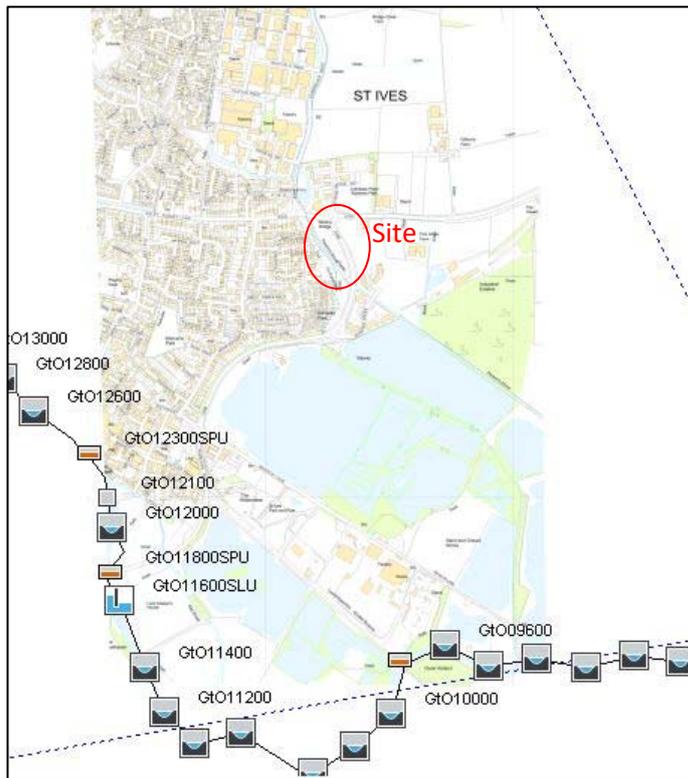


Figure 101

Schematic extracted from EA latest River Ouse flood model

However the EA's Lower Great Ouse Flood Risk Mapping Final Modelling Report (December 2015) confirms that Parsons Drive Drain is instead modelled in 1D ESTRY, coupled with the 2D domain, so it is suitably included:

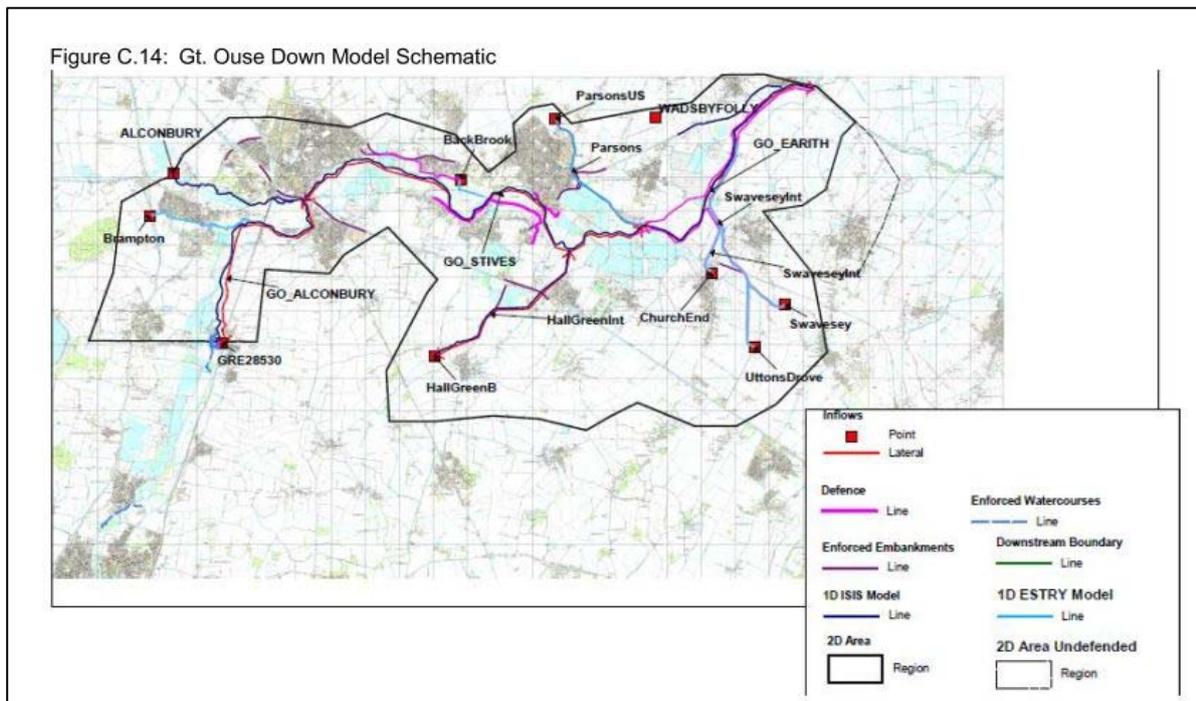


Figure 102

Figure C.14 from Lower Great Ouse Flood Risk Mapping Final Modelling Report (December 2015)

In relation to this more up-to-date flood modelling/data the EA letter January 2017 stated 'the site now lies within Flood Zone 2.'

Flood Levels

The following maps show flood levels at the site extracted from the EA's latest (2016) flood level data (product 6 model results data):

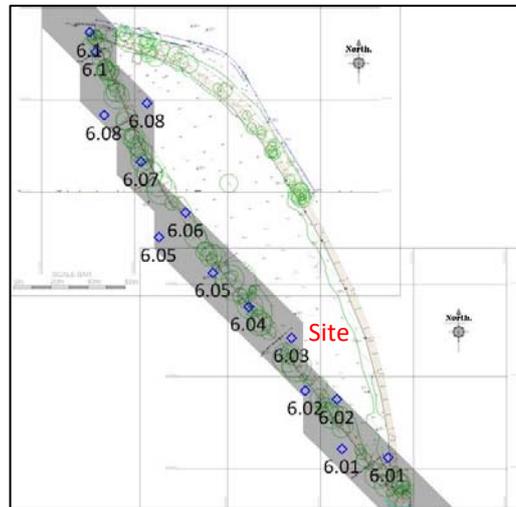


Figure 103

1:100 year flood extents (shaded in grey) with peak flood levels digitised in various locations

(source file: OUSE_DS_0100YR_60HR_53_h_g020_Max.asc)

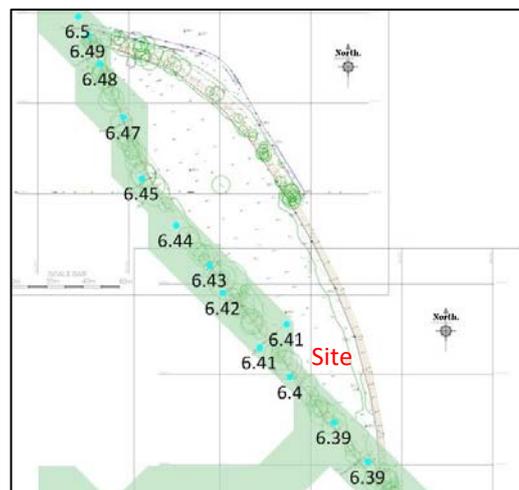


Figure 104

1:1,000 year flood extents (shaded in green) with peak flood levels digitised in various locations

(source file: OUSE_DS_1000YR_60HR_53_h_g020_Max.asc)

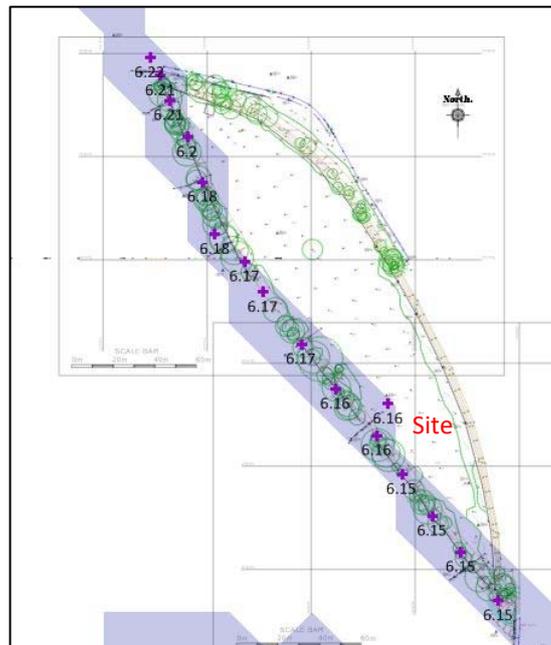


Figure 105

1:100 year plus 20% climate change flood extents (shaded in blue) with peak flood levels digitised in various locations

(Source file: OUSE_DS_0100CCYR_60HR_53_h_g020_Max.asc)

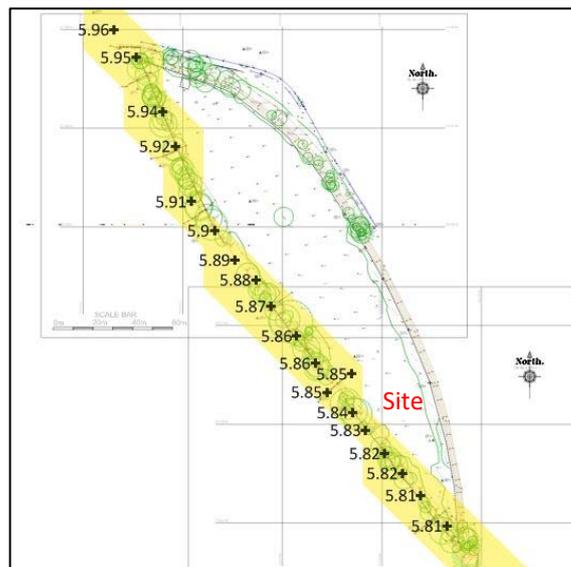


Figure 106

1:20 year flood extents (shaded in yellow) with peak flood levels digitised in various locations

(Source file: OUSE_DS_0020YR_60HR_53_h_g020_Max.asc)

The peak flood levels remain in channel and are lower than the flood defences at the site. This is why the peak flood outlines for the lowest and highest (1:20 and 1:1,000 year) events are the same.

Contemporary climate change enhanced data

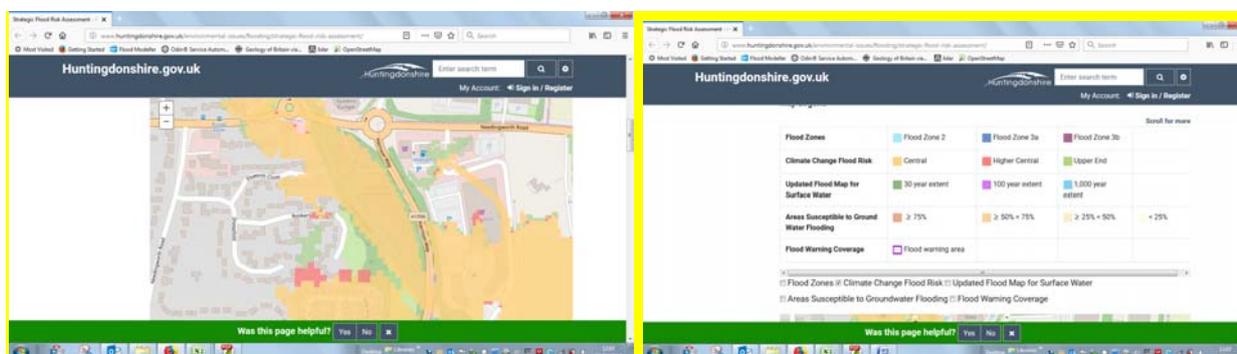
March 2017 EA issued the new 35% and 65% climate change enhanced River Ouse data (from the newer aforementioned River Ouse model).

However, later in 2017 the climate change data was retracted by the EA and we have recently been informed it cannot be used for flood risk assessment purposes.

As noted in our 2016 FRA though, *the design life of the development is 35 years*. With an assumed year of construction of 2021, the year 2056 is therefore considered appropriate in assessing the possible impacts of future climate change upon flood risk. The site is in the Anglia River district and the site is less vulnerable, hence the use of the higher central allowance category is applicable (undefended situation), i.e. a peak river flow of 20%.

Therefore as shown in Figure 105, the predicted peak 1:100 year plus climate change (20%) flood level at the proposed unit 7 is **6.17 mAOD**.

Note: The Huntingdonshire website maps below include climate change enhanced mapping. However it is our understanding that this mapping is based upon the EA's 2017 climate change modelling which cannot be used for FRA purposes, therefore it is not relevant to this FRA.



Flood Level at Proposed Building

Comparing the above data to the surveyed flood embankment crest levels (see attached topographical survey), the proposed development would be protected from fluvial flooding direct from the adjacent watercourse by the embankment flood defence, even during the 1:1,000 year event.

If the defences at the site were to completely fail though, the flood level on site could be assumed to reach 6.17 mAOD during the 1:100 plus 20% climate change event.

As shown on the attached drawing, the ground level at the position of the proposed unit 7 is above the design flood level of 6.17 mAOD, so there is no need to provide compensatory flood storage for the proposed 35 m² building footprint. Also the Environment Agency's (EA's) letter 09 June 2016 'We can confirm that there is no need to provide floodplain compensation for this development as the site is located within an area benefitting from defences.'

All of the site is outside of the functional floodplain (outside of flood zone 3b).

Attached:

02221/T1 Topographic Survey
Survey & proposed unit 7



LEGEND

	Survey Station		Foul Drainage
	Level (cross indicates position unless arrowed)		Storm Drainage
	Kerb		Overhead Electricity Line
	Drop Kerb		Underground Electricity Line
	Change of Surface		Overhead Telephone Line
	Banking		Underground Telephone Line
	Hedge / Bush Canopy		Tree with trunk(dia.) / Ave spread(dia.) / Height if specified
	Gate		Wall
	Fence		Sapping

ABBREVIATIONS (Where applicable)

GENERAL	LP	Lamp Post	FENCES AND WALLS		
AV	Air Valve	MH	Manhole	BKW	Brick Wall
BB	Belisha Beacon	MKR	Marker	BLW	Block Wall
BG	Box Gully	NB	Notice Board	BW	Post & Barbed Wire Fence
BL	Bollard	NFI	No Further Information	CB	Close Boarded Fence
BP	Boundary Post	NSF	Not Surveyed - Information From	CJ	Corrugated Iron Fence
BS	Bus Stop	P	Post	CP	Chestnut Paling Fence
CD	Cable Duct	PM	Parking Meter	CW	Concrete Wall
CL	Cover Level	PRV	Pressure Reducing Valve	DSW	Dry Stone Wall
CM	Cable Marker	RE	Rodding Eye	IR	Iron Railing Fence
CPS	Concrete Paving Slabs	RG	Road Gully	OB	Open Boarded Fence
DP	Down Pipe	RS	Road Sign	PC	Post & Chain Fence
ECB	Electricity Control Box	RWP	Rain Water Pipe	PCL	Post & Chain Link Fence
ECP	Electricity Cable Pit	SC	Stop Cock	PF	Panel Fence
EJB	Electricity Cable Junction Box	SP	Signpost	PR	Post & Rail Fence
EP	Electricity Pole	SV	Sluice Valve	PW	Post & Wire Fence
ERP	Earthing Point	T	Tree	PWM	Post & Wire Mesh Fence
FB	Flower Bed	TCB	Telephone Call Box	RW	Retaining Wall
FH	Fire Hydrant	THL	Threshold Level	SF	Security Fence
FIG	Feeds into Ground	TIC	Telephone Inspection Cover	STW	Stone Wall
FP	Footpath	TJB	Telephone Junction Box	SW	Sheep Wire Fence
G	Gully	TL	Traffic Light		
GP	Gate Post	TP	Telephone Pole		
GV	Gas Valve	UTL	Unable to Lift		
H	Hydrant	VP	Vent Pipe		
IC	Inspection Cover	WL	Water Level		
IL	Invert Level	WM	Water Meter		
KO	Kerb Outlet	WV	Water Valve		



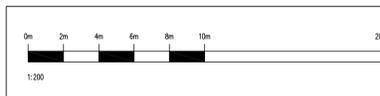
NOTES

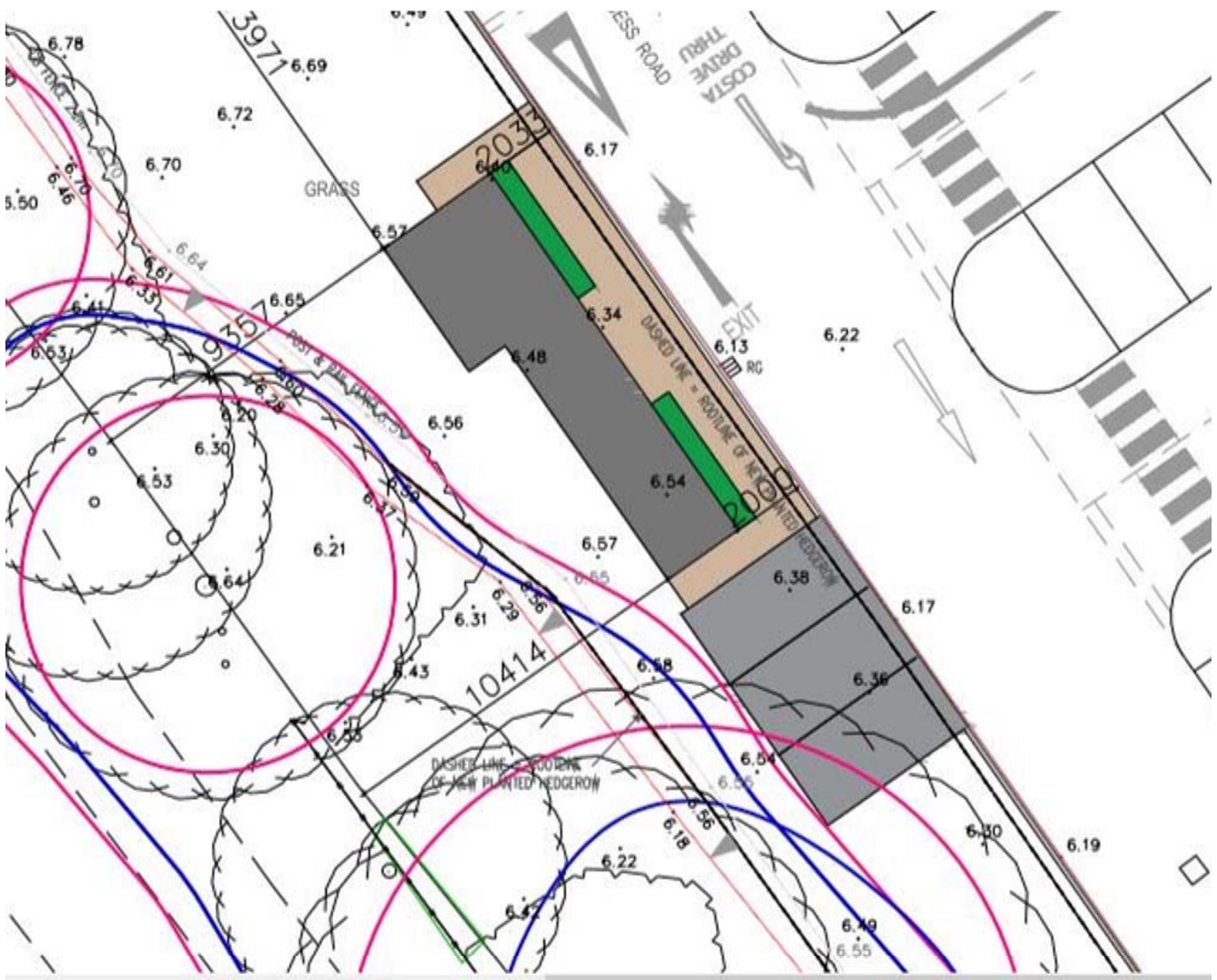
SURVEY TIED INTO NATIONAL GRID OSTN15 AND OSGM15 DATUM FOR HEIGHT USING GPS EQUIPMENT UTILIZING THE TRIMBLE VRS NOW SYSTEM FOR REAL TIME KINEMATIC (RTK) CORRECTIONS NATIONAL GRID SCALE FACTOR HAS NOT BEEN APPLIED TO THE SURVEY UNLESS SPECIFIED

DRAINAGE AND SERVICE INFORMATION SHOWN ON THIS SURVEY HAS BEEN OBTAINED BY VISUAL INSPECTION ONLY. ALTHOUGH ALL POSSIBLE CARE HAS BEEN TAKEN TO ENSURE THAT DETAILS SHOWN ARE CORRECT, WE ARE UNABLE TO ACCEPT ANY RESPONSIBILITY FOR COSTS ARISING OUT OF ANY ERRORS OR OMISSIONS.

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		DATE	DRAWN	SHEET SIZE	SCALE
PROJECT TOPOGRAPHIC SURVEY LAND AT ABBEY RETAIL PARK, HARRISON WAY, ST IVES		JAN 2021	CJ	A1	1:200
				DRAWING NO.	02221/T1





Re Planning application for extension at 27 Warren Road, St Ives.

Comments/objections to proposed development at 27 Warren Road, St Ives, PE27 5NX

1. Proposed development above garage incorrect. The development is above an office/study/bedroom? Change of use in 2019. Permission granted?
2. Currently the gap between buildings is 1.6 metres and the proposed two storey side extension development will mean a gap of 0.3.
2. Development is oversized and at front and rear obstructs current views and prevents our right to light in our living room.
3. The development proposal shows it extending to just inches away from our house side wall/boundary thereby preventing access to us or our agent for maintenance to gutter or brickwork. Also a chimney which requires access.
4. This will incur the application requiring the preparation and us signing a party wall agreement as per the Party Wall Act 1996. (Ministry of Housing, last updated 12 May 2016)
5. The upper floor extension is proposed to be supported upon pillars which will be inserted against our house wall/boundary, possibly causing damage/problems to our foundations/drainages. Hence Party Wall Agreement
6. The proposed development is not in keeping with others in the area, i.e. over extension beyond their boundary and touching on our boundary.
7. The street scene has been designed to have clear visual breaks between houses preventing a terracing effect (cramped development).
8. During development we would like a written agreement on behalf of us and all our neighbours who overlook the Huntingdon Council owned large grass area for the benefit of all houses, that vehicles and materials will not be placed/stored/parked on the area.
9. Private amenity space. The construction will result in the significant loss of rear garden space. Relatively the extension to existing garden size is unbalanced.
10. As the development will be right up to our wall and boundary and deeper than our house building there is no separation to retain views, or sky gaps.

All these comments are made to oppose proposed Planning Application only on the unacceptable gap between buildings.

ST IVES TOWN COUNCIL PLANNING COMMITTEE
APPLICATIONS FOR PERMISSION FOR DEVELOPMENT
27 January 2021

Application No Applicant/Agent	Proposed Development	Link to HDC website	Comments
20/00076/FUL Management Committee for the Mosque Biddleco 60 Maytrees St Ives PE27 5WZ	AMENDED PLAN - Proposed extension of existing building at ground floor level and construction of a first floor extension to create a two-bedroom flat Jamia Mosque Needingworth Road St Ives	https://publicaccess.huntingdonshire.gov.uk/online-applications/applicationDetails.do?activeTab=externalDocuments&keyVal=Q43IQXIKIMW00	
20/01137/FUL 20/01138/LBC Target Construction Partners in Planning and Architecture Suite 2 Clare Hall St Ives Busines Park St Ives PE27 4WY	Change of use from (A1) retail & (B1) office to No.4 two bedroom flats (C3). Rebuilding of east elevation façade and installation of security gate to east elevation. Installation of two larger windows to ground floor west elevation. St Ives Beds Free Church Passage St Ives	https://publicaccess.huntingdonshire.gov.uk/online-applications/applicationDetails.do?activeTab=details&keyVal=QCHLZ1IKLQC00	
20/02483/FUL Mr J Kingra Remway Design Ltd Treetops The Raceground Spalding Lincs PE11 3AP	Two storey rear and first floor extension above existing garage 27 Warren Road St Ives	https://publicaccess.huntingdonshire.gov.uk/online-applications/applicationDetails.do?activeTab=details&keyVal=QL4PQUIKHUR00	

<p>20/02498/FUL</p> <p>Ms Emma Lilley Thurlby Design 5 Cheveley Road Newmarket CB8 8AD</p>	<p>Single and double rear extension, new front porch and window alterations</p> <p>23 High Leys St Ives</p>	<p>https://publicaccess.huntingdonshire.gov.uk/online-applications/applicationDetails.do?activeTab=details&keyVal=QL9Q9IIKHWE00</p>	
<p>20/02532/FUL</p> <p>Mr Andy Taylor Cameron Bosque Architects Limited 6 Missin Gate Ely CB7 4FW</p>	<p>Single storey front side extension. Alterations and/or replacement of existing windows and doors</p> <p>Slepe Lodge Ramsey Road St Ives</p>	<p>https://publicaccess.huntingdonshire.gov.uk/online-applications/applicationDetails.do?activeTab=details&keyVal=QLH4XPIKHZN00</p>	
<p>20/02533/FUL</p> <p>Mr and Mrs Knight ACS Architectural Ltd 20 Westgate Hunstanton PE36 5AL</p>	<p>Proposed single storey and first floor rear extensions</p> <p>The Spinneys Houghton Road St Ives</p>	<p>https://publicaccess.huntingdonshire.gov.uk/online-applications/applicationDetails.do?activeTab=details&keyVal=QLH4ZZIKHZP00</p>	
<p>20/02560/FUL</p> <p>Mr Atif Rabini Biddleco 60 Maytrees St Ives PE27 5WZ</p>	<p>Double storey side extension and single storey extension to the rear</p> <p>99 Burstellars St Ives</p>	<p>https://publicaccess.huntingdonshire.gov.uk/online-applications/applicationDetails.do?activeTab=details&keyVal=QLN5MAIKI2100</p>	

<p>20/02580/TRCA</p> <p>Mr David Smith Westfield Park Avenue St Ives PE27 5JW</p>	<p>Beech Tree – Fell. Overgrown and diseased Westfield Park Avenue St Ives</p>	<p>https://publicaccess.huntingdonshire.gov.uk/online-applications/applicationDetails.do?activeTab=details&keyVal=QLQJTTIK0HH00</p>	
<p>20/02591/TRCA</p> <p>Robin Benford Cambridge Trees Ltd 34a St Ann's Lane Godmanchester PE29 2JE</p>	<p>T1 – Rowan: Reduce height by 2m to improve view from upstairs window 2 Bridge House London Road St Ives</p>	<p>https://publicaccess.huntingdonshire.gov.uk/online-applications/applicationDetails.do?activeTab=details&keyVal=QLQYH4IKI4600</p>	
<p>20/02607/FUL</p> <p>Mr Ageel Akhtar Biddleco 60 Maytrees St Ives PE27 5WZ</p>	<p>Erection of detached garage 40 Ramsey Road St Ives</p>	<p>https://publicaccess.huntingdonshire.gov.uk/online-applications/applicationDetails.do?activeTab=details&keyVal=QLZNK6IKI6N00</p>	

<p>20/02624/TRCA</p> <p>Mrs Anita O'Carroll Global Tree Solutions Witch Elm Lodge New Road Manea PE15 0JX</p>	<p>T1 Cedar: Reduce two lower laterals by 3-4 metres and thin remaining crown by circa 25%. Remove all deadwood. This tree has suffered serious limb shedding throughout 2020. These works are to try to prevent further shedding and ultimate loss of the tree. T2 Cedar: Weight reduce heavy lower laterals by circa 3-4 metres, thin remaining crown by circa 25%. Prune back limbs from roofline of building, remove all deadwood. This tree is growing adjacent to T1, these works are to help prevent the limb shedding suffered by T1</p> <p>3-5 Cromwell Terrace St Ives</p>	<p>https://publicaccess.huntingdonshire.gov.uk/online-applications/applicationDetails.do?activeTab=details&keyVal=QM72HEIKI9400</p>	
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10. As the development will be right up to our wall and boundary and deeper than our house building there is no separation to retain views, or sky gaps.

All these comments are made to oppose proposed Planning Application only on the unacceptable gap between buildings.

NOTES

With the gap between houses as proposed of 0.3metres (11inches) it would make it impossible to carry out maintenance and access to roof, chimney, gutters, soffits, and down pipes, brick pointing, etc.

This impossible access would apply to both houses, by ladders or towers, a man would not fit between the walls.

See separation of surrounding houses on location plan.

HDC Design Guide. Prepared for use by people involved including,

a. Applicants for planning permission to their homes.

b. Councillors.

c. Local residents who are concerned.

d. (page131) indicates min 2.0meter gap.

The purpose of requiring separation between buildings is to retain views, openness (sky gaps) to prevent terracing effect resulting in a cramped form.

Is there a higher fire risk storing rubbish bins under a covered walkway between buildings?